



Inspection Report

Barney Tester

Property Address:

600 South St

Unit 1A

Anytown IL 60000



DLM Home Inspection

Mike Cummins

IL License # 450.010386

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Date: 10/2/2022	Time: 09:30 AM	Report ID: 3T-905
Property: 600 South St Unit 1A Anytown IL 60000	Client: Barney Tester	Real Estate Professional:

Comment Key, Definitions and Pertinent Information

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = This item, component or unit was visually observed and/or operated. If no specific comments are included it functioned as intended allowing for normal wear and tear.

Not Inspected (NI) = This item, component or unit was not inspected and no representations are made to whether it functioned as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not present in this home or building.

Items included or described in this report fall into two major categories:

Repair, Replace, Defect: The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Maintenance Recommendation: These are items or component that will require regular upkeep or maintenance and may include recommendations for upgrade or improvement of existing conditions.

Health and Safety: These are items that can affect the health and/or safety of the occupants of the home.

If any item, component or category does not contain a comment, no defects were noted.

Due to significant differences in Contractor repair pricing and possibility of hidden conditions, cost estimates for items identified as deficient are not provided. The CLIENT is encouraged to obtain repair/replacement cost estimates from contractors that are qualified and licensed as required for their trade.

TYPE OF STRUCTURE:

Low Rise Condominium

APPROXIMATE AGE OF STRUCTURE:

70 to 80 Years

YEAR BUILT:

1953

APPROXIMATE SQUARE FOOTAGE:

Under 2,000 sf

NUMBER OF STORIES:

Two Story

STRUCTURE FACES:

NE

WEATHER CONDITIONS:

Cloudy, Cool, Light Rain

AMBIENT TEMPERATURE:

Below 60°

OCCUPANCY:

Vacant

IN ATTENDANCE:

Client

1. Interiors

The home inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: operate a representative number of windows and interior doors; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or draperies, blinds, or other window treatments. Thermal Imaging Equipment Use: Thermal images of moisture content and defects (if any) have been confirmed with a quality moisture meter, further evaluation and repairs should be made by a qualified professional. Moisture can be conducive to fungi/mold, decay and wood-destroying insects that cannot always be seen. Additionally, further damage and repair items may be uncovered during the evaluation and repair process. Infrared thermal imaging is a superior diagnostic method than a visual inspection but does not guarantee 100% accuracy, removal of or destruction of materials are required to fully validate any findings. Conditions can change over time causing the temperatures revealed in the thermal images to change accordingly.

Styles & Materials

Insulation/Vapor Retarder Material:

Ceiling/Attic Insulation not Visible/Accessible
 Insulation in Walls not Visible/Accessible
 Vapor Barrier not Visible/Accessible

Ceiling Materials:

Plaster

Wall Material:

Plaster

Floor Covering(s):

Carpet
 Tile

Interior Doors:

Hollow Core
 Wood

Window Styles & Materials:

Slide-by
 Thermal Glazing
 Vinyl

Window Manufacturer:

Feldco


Stairs/Steps/Railings:

Interior Wood Stairs

		IN	NI	NP
1.0	Ceilings	•		
1.1	Walls	•		
1.2	Floors	•		
1.3	Doors	•		
1.4	Windows	•		
1.5	Steps, Stairways, Balconies and Railings	•		
1.6	Interiors - Other	•		
		IN	NI	NP

IN= Inspected, NI= Not Inspected, NP= Not Present

Comments:

 **1.1** The plaster on the wall shows moisture stains indicating water intrusion did or still may be occurring at the living room and front bedroom closet. The moisture meter was used and it recorded 19% or higher, which indicates the leak has not been corrected. A qualified contractor should evaluate further and repair as needed.



Water damage at living room wall




Elevated moisture levels confirmed



Water damage at closet




Elevated moisture levels confirmed

 **1.2 (1)** The floor tiling in the home is of a size and style that is consistent with asbestos content. Some loose and damage tiles were noted which indicates the possibility that asbestos fibers have been released. Further evaluation by a licensed and competent environmental remediation contractor is recommended in order to determine if any hazard exists and what remedial steps may be prudent.



Asbestos floor tiles

 **1.2 (2)** The wood subfloor is loose or damaged at the hallway, direct access to the defect is blocked by carpet. Repair is needed to prevent risk of injury and to provide proper support to the floor. A qualified contractor should evaluate further and repair as needed.



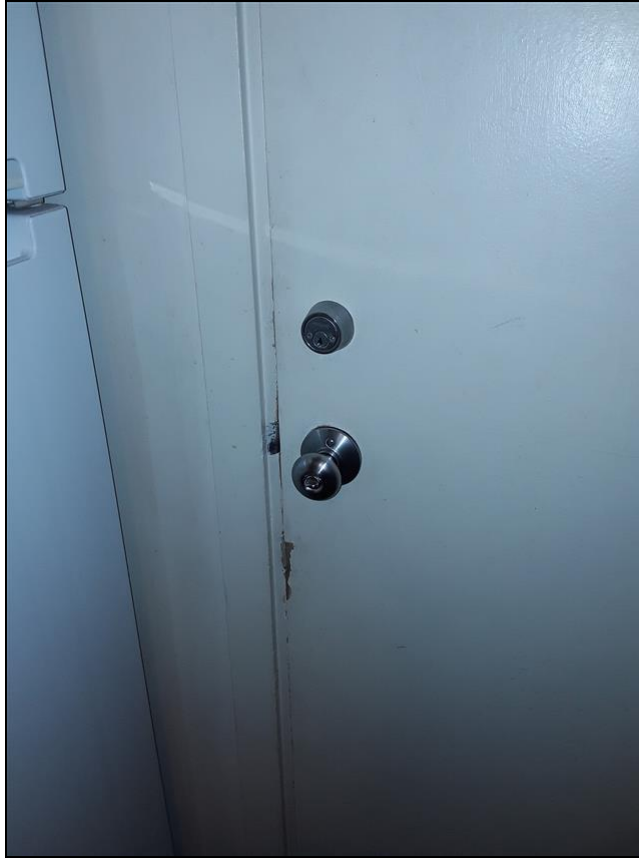
Loose or damaged wood sub-floor

1.2 (3) The carpet is loose or baggy and not stretched for a tight installation throughout the home, a large tear in the carpet was noted in the living room. Repair is needed to prevent trip and fall injuries and for proper appearance. A qualified flooring contractor should evaluate further and repair or replace as needed.




Old, loose and torn carpet

1.3 Double-keyed deadbolts locks can pose a risk of entrapment in an emergency. No special tools or knowledge should be needed to exit the home in an emergency. The interior deadbolt lock should be replaced with one using a thumb latch.



Keyed deadbolt at kitchen

 **1.4** The window above the tub is required to be tempered glass in case of a slip and fall in the tub and must display an etched label in one of the corners confirming it is tempered. That label was not apparent on this window. Some custom made windows might not have this etching or label attached, and in such case you should contact the manufacturer. Replacement of the window glass if not tempered is recommended for safety.



Window over hall bath tub

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Bathrooms

The home inspector shall observe: interior water supply, including all fixtures and faucets, by running the water; all toilets for proper operation by flushing; all sinks, tubs and showers for functional drainage; and the drain, waste and vent systems. The inspector shall report as in need of correction: deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously; deficiencies in the installation of hot and cold water faucets; mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs and toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate. The inspector is not required to: operate any valve, test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection, evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping, determine the effectiveness of anti-siphon, backflow prevention or drain stop devices.

Styles & Materials


Exhaust Fans:

Window Ventilation Only

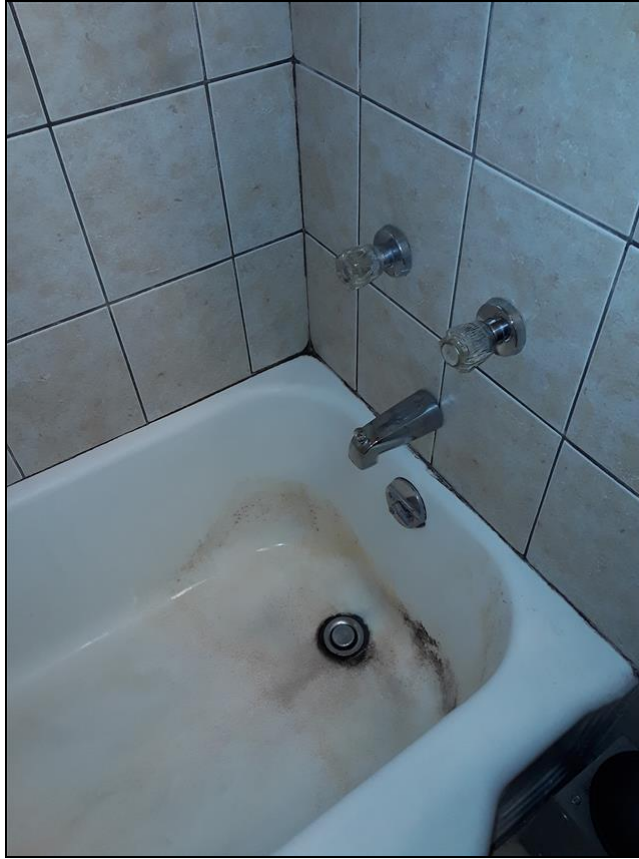
		IN	NI	NP
2.0	Counters and Cabinets	•		
2.1	Walls, Ceilings and Floors	•		
2.2	Plumbing Water Supply, Faucets and Fixtures	•		
2.3	Plumbing Drain, Waste and Vent Systems	•		
2.4	Exhaust Fans	•		
		IN	NI	NP

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Comments:

 **2.1** The caulked joints at the tile intersections and grout joints are exhibiting signs of mold growth. The joints at the inside corners of tub/shower surrounds and at tub-to-tile intersections should be raked out, all surfaces thoroughly cleaned with a mold control product (Concrobium brand), dried and new color-matched, 100% silicone caulk used in order to prevent future mildew staining, leakage and damage to the tile substrate. In general, all dissimilar materials in contact with ceramic tile should be protected from cracking and moisture penetration through the use of appropriate caulking methods and materials.

Additional information on cleaning and prevention of mold growth can be found here: [Concrobium](#)



Mold growth at tub

2.2 (1) The tub faucet drips continuously at the hall bath. Repair is needed to prevent water losses. A qualified plumbing contractor should evaluate further and repair as needed.



Water drips continuously

2.2 (2) The sink faucet is loose at the hall bath. Repairs are needed to prevent pipe breakage and damage to adjacent finishes. A qualified plumbing contractor should repair or replace as needed.



Loose faucet

2.4 The installation of a ducted bathroom exhaust fan is recommended in each bathroom in order to provide for the safe and effective removal of moisture and odors. While local building practices may allow the use of a bathroom window for ventilation, this method is ineffective, uncomfortable in the winter, and wastes energy. High quality, quiet, exhaust fans (preferably controlled with a timer switch) should be installed by a qualified contractor.



Add bath exhaust fan

The bathroom(s) of the home was/were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Kitchen and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: permanently installed dishwasher, through its normal cycle; range, cook top, and permanently installed oven; trash compactor; garbage disposal; ventilation equipment or range hood; and permanently installed microwave oven. The home inspector is not required to observe: clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; non built-in appliances; or refrigeration units. The home inspector is not required to operate: appliances in use; or any appliance that is shut down or otherwise inoperable.

Styles & Materials

Cabinet Material:

Particle Board

Countertop:

Solid Surface

Refrigerator:

Whirlpool

Range/Oven:

Frigidaire

Dishwasher:

Whirlpool

Kitchen Exhaust Venting:

Recirculating Exhaust


Exhaust Range Hood:

Broan

		IN	NI	NP
3.0	Counters/Cabinets	•		
3.1	Plumbing Water Supply, Faucets and Fixtures	•		
3.2	Plumbing Drain, Waste and Vent Systems	•		
3.3	Refrigerator	•		
3.4	Ranges/Ovens/Cooktops	•		
3.5	Dishwasher	•		
3.6	Range Hood	•		
		IN	NI	NP

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Comments:

 **3.1** The faucet drips continuously at the kitchen sink. Repairs are needed to prevent water losses. A qualified plumbing contractor should repair or replace as needed.



Faucet drips continuously

The built-in appliances, cabinets and counters of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Electrical System

The home inspector shall observe: service entrance conductors; service equipment, grounding equipment, main over current device, and main and distribution panels; amperage and voltage ratings of the service; branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; the operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwellings exterior walls; the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; the operation of ground fault circuit interrupters; and smoke detectors. The home inspector shall describe: service amperage and voltage; service entry conductor materials; service type as being overhead or underground; and location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; test or operate any over current device except ground fault circuit interrupters; dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or observe: low voltage systems; security system devices, heat detectors, or carbon monoxide detectors; telephone, security, cable TV, intercoms, private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility or other ancillary wiring that is not a part of the primary electrical distribution system; or built-in vacuum equipment.

Styles & Materials

Electrical Service: 240 Volts Below Ground Copper Service Conductors	Location of Main Disconnect: Kitchen	Panel Service Ampacity: 100 AMP
Overcurrent Protection Devices: Circuit Breakers	Service Panel Manufacturer: Square D	Electrical Grounding Configuration: Not Located/Accessible
Branch Circuit Conductors: Aluminum Copper	Circuits in use / Circuits Available: 5 in use 15 available	Wiring Methods: Electrical Metallic Tubing EMT (Conduit)

		IN	NI	NP
4.0	Service Entrance Conductors	•		
4.1	Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels	•		
4.2	Branch Circuit Conductors/Overcurrent Devices	•		
4.3	Outlets, Wall Switches and Fixtures	•		
4.4	Operation and Location of Ground Fault Circuit Interrupters	•		
4.5	Smoke and Carbon Monoxide Detectors	•		
		IN	NI	NP


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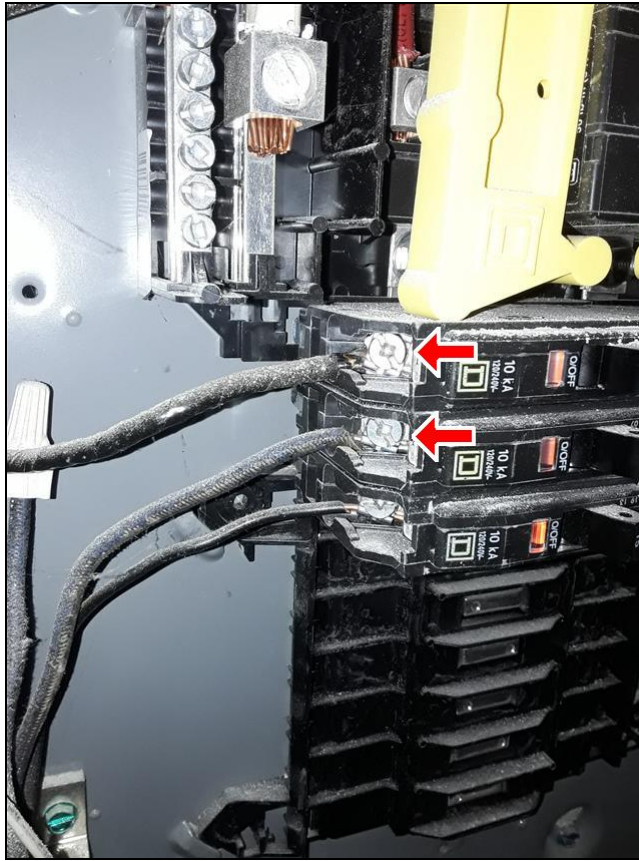
Comments:

 **4.1** The main electrical panel box/disconnect is located at the kitchen.




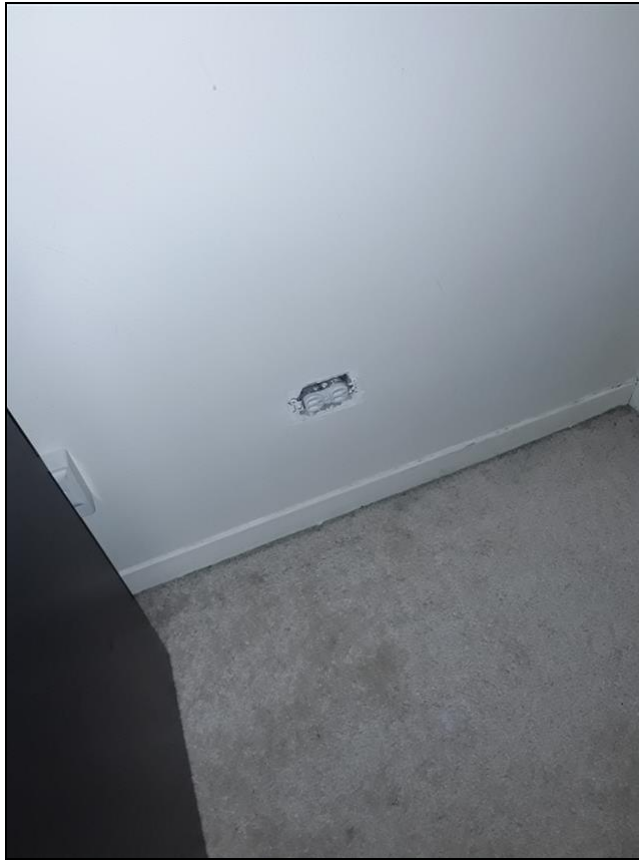
Main electrical panel with cover removed

 **4.2** Aluminum wire is installed on 120 VAC branch electrical circuits in the subject house (Some tinned copper wiring can have the appearance of aluminum wiring). These single strand, branch circuit aluminum wires were used widely in houses during the mid 1960s and 1970s. According to the U.S. Consumer Product Safety Commission, problems due to expansion can cause overheating at connections between the wire and devices (switches and outlets) or at splices, which has resulted in fires. For further information on aluminum wiring contact the U.S. Consumer Product Safety Commission via the Internet at <http://www.cpsc.gov/> . It is recommended that the electrical system be evaluated by a licensed electrician.




Aluminum branch circuit wiring

 **4.3** (1) One outlet is missing a cover-plate in the living room. This is a safety issue that needs to be corrected. A qualified licensed electrician should repair as needed.



Missing outlet cover

 **4.3** (2) The light fixture is missing a globe at the front bedroom. This is a safety issue that needs to be corrected. A qualified electrical contractor should correct as needed.




Missing light globe

4.3 (3) The ceiling fan did not function when tested in the kitchen. A qualified licensed electrician should repair or replace as needed.




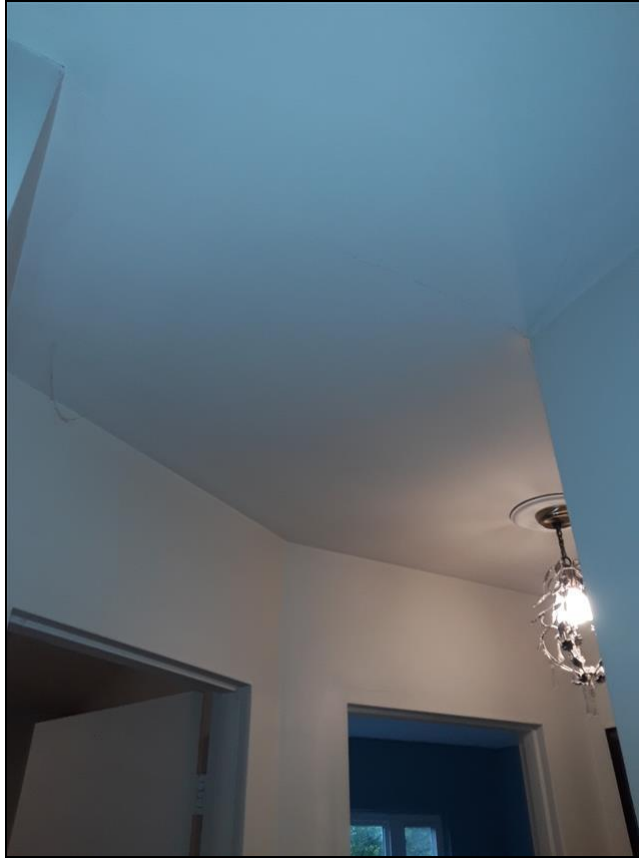
Ceiling fan not working

 **4.4** It is recommended that all electrical receptacles at kitchen counters, in bathrooms, garages and all exterior locations that are not already GFCI protected be upgraded to GFCI protected outlets by a licensed and competent electrician in order to reduce the risk of electrical shock and injury.



Non-GFCI kitchen counter outlet

 **4.5** There are no smoke or CO detectors installed in the home. It is recommended each level of living space have smoke and carbon monoxide detectors installed and operational. The installation of hard-wired smoke detectors in each bedroom is recommended as is the inter-connecting of all smoke and CO detectors. This is recommended so that an alarm in any part of the home would be able to alert a sleeping occupant in any bedroom. A qualified electrical contractor should upgrade as required.



Add smoke and CO detectors

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System

The home inspector shall observe: interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and sump pumps. The home inspector shall describe: water supply and distribution piping materials; drain, waste, and vent piping materials; water heating equipment; and location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: state the effectiveness of anti-siphon devices; determine whether water supply and waste disposal systems are public or private; operate automatic safety controls; operate any valve except water closet flush valves, fixture faucets, and hose faucets; observe: Water conditioning systems; fire and lawn sprinkler systems; on-site water supply quantity and quality; on-site waste disposal systems; foundation irrigation systems; spas, except as to functional flow and functional drainage; swimming pools; solar water heating equipment; or observe the system for proper sizing, design, or use of proper materials.


Styles & Materials

Potable Water Source: Public	Water Service Piping Material: Unknown/Not visible	Main Water Shut-off Location: Not Located/Accessible
Water Supply Piping Material: Copper Water Pressure and Flow : Good	Plumbing Waste/Drain/Vent Piping Material: Galvanized Pipe	Gas Shut-off Location: Basement
Water Heater Location: Common System/Not Accessible	Water Heater Size In Gallons: Common Building System Supply Unknown/Not Accessible	Water Heater Manufacturer and Age: Unknown/Not Accessible

		IN	NI	NP
5.0	Main Water Shut-off Device		•	
5.1	Plumbing Water Supply, Distribution Systems and Fixtures	•		
5.2	Plumbing Drain, Waste and Vent Systems	•		
5.3	Hot Water Systems, Controls, Chimneys, Flues and Vents	•		
5.4	Fuel Distribution/Storage Systems	•		
		IN	NI	NP

IN= Inspected, NI= Not Inspected, NP= Not Present

Comments:

 **5.0** The main water shutoff to this home was not located/accessible during the inspection. This essential component should be readily accessible for use in emergencies, for repairs, and for routine maintenance. Building management or maintenance personnel should be consulted for procedures in case emergency water shut-off is needed.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Heating, Ventilating and Air Conditioning Systems

The home inspector shall observe permanently installed heating and cooling systems including: heating equipment; cooling equipment that is central to home; normal operating controls; automatic safety controls; chimneys, flues, and vents, where readily visible; solid fuel heating devices; heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: energy source; and heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: operate heating systems when weather conditions or other circumstances may cause equipment damage; operate automatic safety controls; ignite or extinguish solid fuel fires; or observe: The interior of flues; fireplace insert flue connections; humidifiers; electronic air filters; or the uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Heating Energy Source:

Unknown

Heat Type:

Fan Coil System
Hydronic (2-Pipe)

Heating Equipment Manufacturer and Age:

Unknown
Serial # & approximate age of unit :
Unknown / illegible

Cooling Equipment Style:

Freestanding Portable

Cooling Equipment Manufacturer and Age:

Haier
Serial # & Approx. Age of Condensing
Unit : Unknown


Thermostat Location:

Bedroom
Dining Room

		IN	NI	NP
6.0	HVAC Operating Controls	•		
6.1	Heating Equipment	•		
6.2	Distribution Systems	•		
6.3	Presence of Installed Heat Source in Each Room	•		
6.4	Heating System Chimneys, Flues and Vents	•		
6.5	Cooling and Air Handler Equipment	•		
6.6	Presence of Installed Cooling Source in Each Room			•
		IN	NI	NP

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Comments:

 **6.1 (1)** The fan is noisy when operating at the living room heating unit. This can indicate a defective motor or bearings. A qualified HVAC contractor should evaluate further and repair or replace as needed.



Noisy fan operation

6.1 (2) The HVAC unit fan at the front bedroom did not function when tested. Repair is needed to provide heat in the winter. A qualified HVAC contractor should evaluate further and repair or replace as needed.



Fan not working

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Foundation and Structural Systems

Styles & Materials

Foundation:

Crawlspace

Floor Structure:

Slab on Grade

Wall Structure:

Masonry Exterior Walls

Wood Frame

Ceiling Structure:

Wood Joist

		IN	NI	NP
7.0	Foundations, Basements and Crawlspace	•		
7.1	Floors	•		
7.2	Walls	•		
7.3	Ceilings	•		
		IN	NI	NP

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Comments:

7.0 A full evaluation of the foundation and structure of this multi-unit building is beyond the scope of this home inspection.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Exterior

The home inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing except when doing so can damage the door or opener; and probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The home inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:

Masonry

Siding Material:

Brick

Exterior Entry Doors:

Wood

Appurtenance:

Covered Porch

Stairs/Steps/Railings:

None Present

Walkways/Driveway/Patio Material:

Asphalt Parking Lot
Concrete Walkways
No Patio

Exterior Grading/Drainage:

Good - Positive Drainage at Foundation

Vegetation/Landscaping:

Good Clearance From Exterior Siding

Ground/Soil Surface Condition:

Wet

		IN	NI	NP
8.0	Wall Cladding, Flashing and Trim	•		
8.1	Eaves, Soffits and Fascia	•		
8.2	Doors	•		
8.3	Windows	•		
8.4	Decks, Balconies, Stoops, Steps, Areaways, Porches, Patios and Railings	•		
8.5	Vegetation, Grading, Drainage, Driveways, Walkways and Retaining Walls	•		
		IN	NI	NP

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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Roofing and Chimneys

The home inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The home inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The home inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Covering:

Not Visible/Accessible

Roof Type:

Low-slope

Roof Structure:

Not visible

Roof Viewed:

Unable to View Roof Covering


Chimney Type:

Roof Not Accessible

		IN	NI	NP
9.0	Roof Coverings		•	
		IN	NI	NP

IN= Inspected, NI= Not Inspected, NP= Not Present

Comments:

 **9.0** Due to the height and lack of access the inspector was unable to walk upon the roof. A further inspection by a licensed and competent roofing contractor is recommended in order to more definitely determine the condition of the roof covering and it's attendant components.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Report Summary: Repair / Replace / Defect

Client
Barney Tester

Address
600 South St
Unit 1A
Anytown IL 60000


Inspection by DLM Home Inspection, LLC

The information presented in this report is categorized for your use in these summaries: 1: **Repair/replace/defect** lists items or discoveries of systems or components that do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires subsequent observation. 2: **Maintenance Recommendations** lists items that will require regular upkeep or maintenance and recommendations for upgrade or improvement of existing conditions. 3: **Health and Safety** includes defects or conditions that can affect the health and/or safety of the occupants. 4: **For Your Information** includes basic information regarding systems or components of this home. This summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Interiors





1.1 Walls

Inspected

-  The plaster on the wall shows moisture stains indicating water intrusion did or still may be occurring at the living room and front bedroom closet. The moisture meter was used and it recorded 19% or higher, which indicates the leak has not been corrected. A qualified contractor should evaluate further and repair as needed.


1.2 Floors

Inspected

-  (1) The floor tiling in the home is of a size and style that is consistent with asbestos content. Some loose and damage tiles were noted which indicates the possibility that asbestos fibers have been released. Further evaluation by a licensed and competent environmental remediation contractor is recommended in order to determine if any hazard exists and what remedial steps may be prudent.
-   (2) The wood subfloor is loose or damaged at the hallway, direct access to the defect is blocked by carpet. Repair is needed to prevent risk of injury and to provide proper support to the floor. A qualified contractor should evaluate further and repair as needed.
-  (3) The carpet is loose or baggy and not stretched for a tight installation throughout the home, a large tear in the carpet was noted in the living room. Repair is needed to prevent trip and fall injuries and for proper appearance. A qualified flooring contractor should evaluate further and repair or replace as needed.



1.3 Doors

Inspected

-  Double-keyed deadbolts locks can pose a risk of entrapment in an emergency. No special tools or knowledge should be needed to exit the home in an emergency. The interior deadbolt lock should be replaced with one using a thumb latch.

1.4 Windows


Inspected

-   The window above the tub is required to be tempered glass in case of a slip and fall in the tub and must display an etched label in one of the corners confirming it is tempered. That label was not apparent on this window. Some custom made windows might not have this etching or label attached, and in such case you should contact the manufacturer. Replacement of the window glass if not tempered is recommended for safety.

2. Bathrooms

2.1 Walls, Ceilings and Floors



Inspected

-  The caulked joints at the tile intersections and grout joints are exhibiting signs of mold growth. The joints at the inside corners of tub/shower surrounds and at tub-to-tile intersections should be raked out, all surfaces thoroughly cleaned with a mold control product (Concrobium brand), dried and new color-matched, 100% silicone caulk used in order to prevent future mildew staining, leakage and damage to the tile substrate. In general, all dissimilar materials in contact with ceramic tile should be protected from cracking and moisture penetration through the use of appropriate caulking methods and materials.

Additional information on cleaning and prevention of mold growth can be found here: [Concrobium](#)

2.2 Plumbing Water Supply, Faucets and Fixtures


Inspected

-  (1) The tub faucet drips continuously at the hall bath. Repair is needed to prevent water losses. A qualified plumbing contractor should evaluate further and repair as needed.
-  (2) The sink faucet is loose at the hall bath. Repairs are needed to prevent pipe breakage and damage to adjacent finishes. A qualified plumbing contractor should repair or replace as needed.

3. Kitchen and Appliances

3.1 Plumbing Water Supply, Faucets and Fixtures



Inspected

-  The faucet drips continuously at the kitchen sink. Repairs are needed to prevent water losses. A qualified plumbing contractor should repair or replace as needed.

4. Electrical System






4.2 Branch Circuit Conductors/Overcurrent Devices

Inspected

-   Aluminum wire is installed on 120 VAC branch electrical circuits in the subject house (Some tinned copper wiring can have the appearance of aluminum wiring). These single strand, branch circuit aluminum wires were used widely in houses during the mid 1960s and 1970s. According to the U.S. Consumer Product Safety Commission, problems due to expansion can cause overheating at connections between the wire and devices (switches and outlets) or at splices, which has resulted in fires. For further information on aluminum wiring contact the U.S. Consumer Product Safety Commission via the Internet at <http://www.cpsc.gov/> . It is recommended that the electrical system be evaluated by a licensed electrician.



4.3 Outlets, Wall Switches and Fixtures

Inspected

-   (1) One outlet is missing a cover-plate in the living room. This is a safety issue that needs to be corrected. A qualified licensed electrician should repair as needed.
-   (2) The light fixture is missing a globe at the front bedroom. This is a safety issue that needs to be corrected. A qualified electrical contractor should correct as needed.
-  (3) The ceiling fan did not function when tested in the kitchen. A qualified licensed electrician should repair or replace as needed.

4.5 Smoke and Carbon Monoxide Detectors

Inspected



-   There are no smoke or CO detectors installed in the home. It is recommended each level of living space have smoke and carbon monoxide detectors installed and operational. The installation of hard-wired smoke detectors in each bedroom is recommended as is the inter-connecting of all smoke and CO detectors. This is recommended so

that an alarm in any part of the home would be able to alert a sleeping occupant in any bedroom. A qualified electrical contractor should upgrade as required.

6. Heating, Ventilating and Air Conditioning Systems

6.1 Heating Equipment

Inspected

-  (1) The fan is noisy when operating at the living room heating unit. This can indicate a defective motor or bearings. A qualified HVAC contractor should evaluate further and repair or replace as needed.
-  (2) The HVAC unit fan at the front bedroom did not function when tested. Repair is needed to provide heat in the winter. A qualified HVAC contractor should evaluate further and repair or replace as needed.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with building codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Mike Cummins

Report Summary: Maintenance Recommendations

Client

Barney Tester

Address600 South St
Unit 1A
Anytown IL 60000**Inspection by DLM Home Inspection, LLC**

2. Bathrooms

2.4 Exhaust Fans

Inspected

The installation of a ducted bathroom exhaust fan is recommended in each bathroom in order to provide for the safe and effective removal of moisture and odors. While local building practices may allow the use of a bathroom window for ventilation, this method is ineffective, uncomfortable in the winter, and wastes energy. High quality, quiet, exhaust fans (preferably controlled with a timer switch) should be installed by a qualified contractor.

4. Electrical System

4.4 Operation and Location of Ground Fault Circuit Interrupters

Inspected

It is recommended that all electrical receptacles at kitchen counters, in bathrooms, garages and all exterior locations that are not already GFCI protected be upgraded to GFCI protected outlets by a licensed and competent electrician in order to reduce the risk of electrical shock and injury.

5. Plumbing System

5.0 Main Water Shut-off Device

Not Inspected

The main water shutoff to this home was not located/accessible during the inspection. This essential component should be readily accessible for use in emergencies, for repairs, and for routine maintenance. Building management or maintenance personnel should be consulted for procedures in case emergency water shut-off is needed.

9. Roofing and Chimneys

9.0 Roof Coverings

Not Inspected

Due to the height and lack of access the inspector was unable to walk upon the roof. A further inspection by a licensed and competent roofing contractor is recommended in order to more definitely determine the condition of the roof covering and its attendant components.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Mike Cummins

Report Summary: For Your Information

Client

Barney Tester

Address600 South St
Unit 1A
Anytown IL 60000**Inspection by DLM Home Inspection, LLC****4. Electrical System****4.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels****Inspected**

The main electrical panel box/disconnect is located at the kitchen.

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Report Summary: Health and Safety Issues

Client
Barney Tester

Address
600 South St
Unit 1A
Anytown IL 60000

Inspection by DLM Home Inspection, LLC

1. Interiors

1.2 Floors

Inspected



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4.3 Outlets, Wall Switches and Fixtures

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Inspected



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Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Mike Cummins

INVOICE

DLM Home Inspection, LLC
East Dundee, IL 60118
(847) 910 - 3755
Inspected By: Mike Cummins

Inspection Date: 10/2/2022
Report ID: 3T-905

Customer Info:	Inspection Property:
Barney Tester Customer's Real Estate Professional:	600 South St Unit 1A Anytown IL 60000

Inspection Fee:

Service	Price	Amount	Sub-Total
Condo - 0 to 2,500 Sq Ft	395.00	1	395.00

Total Price \$395.00

Payment Method: Check
Payment Status: Paid At Time Of Inspection
Note: Thank You For Your Payment!



DLM Home Inspection, LLC

Mike Cummins

**East Dundee, IL 60118
(847) 910 - 3755**

